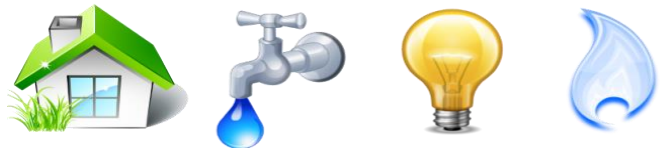


Utility Allowances

September 2022

HOUSING AUTHORITY OF THE CITY OF FREEPORT

Freeport, Illinois



UPDATE REPORT

PUBLIC HOUSING

UTILITY ALLOWANCE SURVEY AND STUDY

The **Nelrod** Company®

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November 16, 2022

Rachel Greenwood, Property Operations Manager
Housing Authority of the City of Freeport
1052 West Galena Avenue Suite A
Freeport, IL 61032

Re: Public Housing Utility Allowances Update Report -2022

Dear Ms. Greenwood:

ResidentLife Utility Allowances® is pleased to enclose the draft Public Housing Utility Allowances Update Report - September 2022. Please see the Survey and Study Results section of the study analysis for details of changes.

ResidentLife Utility Allowances is putting our seal of compliance on the work we perform for your agency certifying that we have developed your Utility Allowances in compliance with HUD Regulations and guidelines. **We recommend that you post your adopted utility allowance schedule(s) on your webpage. We have made this process easy for you by providing, by email, an electronic version of your currently updated Utility Allowances in a pdf format that is ready to upload directly to your website.** This format displays our Seal of Certified Compliance assuring residents, Agency staff, HUD representatives, or other interested parties, that an approved method was used to efficiently and accurately develop your utility allowances and that the utility allowances are current.

As a reminder, HUD regulations (24CFR965-507(b)) state that, "adjustments to resident payments as a result of such changes" (adjustments made due to a result of rate changes of 10% or more) agencies do not have to comply with the sixty (60) day notice (and comment period) requirement of §965.502(c)." A 30-day notice will suffice.

Please note that notice of the availability of relief from surcharges or payment of utility supplier billings in excess of the allowances for resident-purchased utilities should be included in each notice to residents given in accordance with §965.502(c) and in the information given to new residents upon admission.

Please carefully review this draft report for any identifiable problems, changes, corrections, and/or special needs and let me know if you have any changes or questions as soon as possible. If no changes are requested this report will serve as a final report as well. **Please see the attached Closure Acceptance Statement, sign and return as soon as possible.** You can contact me at (817) 922-9000 ext 103 or emma@nelrod.com. It is a pleasure working with your agency.

Sincerely,

Emma McLemore

Emma McLemore
ResidentLife Utility Allowances Specialist

Enclosure

Disclaimer: ResidentLife Utility Allowances® will make any necessary corrections to work previously performed prior to submission of final report. It is important to note that many local communities have different rate structures, weather patterns, types of charges, etc. ResidentLife Utility Allowances® has made every effort to be as accurate as possible, but will not be held responsible for changes involving different methodologies, rate structures, regulatory changes, omission and/or misinformation of cost calculation data from utility providers, selection of most advantageous cost calculation methodology in areas with multiple costing methods, and inaccurate allowances resulting from lack of information or data not provided by the agency.

3301 West Freeway
Fort Worth, TX 76107



Phone: 817-922-9000
Fax: 817-922-9100

Email: ResidentLife@nelrod.com – Website: www.nelrod.com

Closure Acceptance Statement

Re: Public Housing Utility Allowances Update Report -2022

Upon signing this Closure Statement I, _____, on behalf of the **Housing Authority of the City of Freeport, IL** acknowledge receipt of the draft survey study report.

I, or a member of our agency staff, have reviewed this draft report and have requested edits, changes or additions if needed. Our agency now accepts this survey study report as final. This does not mean that we will adopt these results as our Agency’s actual allowances.

Signed

Signature

Title

Print Name

Date

**Please sign and return within 30 days
fax to: (817) 922-9100 or email to residentlife@nelrod.com**

Job #2534-RU-003

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OBJECTIVES AND METHODOLOGY

OBJECTIVES AND METHODOLOGY

PUBLIC HOUSING ANNUAL UPDATE 2022

This study was conducted in compliance with the Public Housing Utility Allowance HUD Regulations 24CFR 965, Subpart E – Resident Allowances for Utilities, and HUD’s Utility Allowance Guidebook.

Utility Rate Comparison

Prior to beginning this update study for the **Housing Authority of the City of Freeport, IL**, as required by HUD regulations 24 CFR 965.507(b), a comparison (annual review) was made of the utility rates and charges (**dated: August 2021**) utilized in the development of the currently adopted utility allowances and the current utility rates and charges (**dated: September 2022**). This comparison indicated that **ComEd’s** electric rates increased 38% for summer, 21% for winter, the monthly charges decreased 4%, and franchise cost percentages increased 0.03%. **Nicor Gas’** natural gas rates increased 109%, monthly charges increased 17%, and taxes remained the same. (See “Comparison of Previous and Current Utility Rates” in Support Documentation section of this report.) Since the utility provider’s **rates** have changed more than 10%, the utility allowances will be adjusted. This does not mean that **utility allowances** will change by the actual percentage values listed above.

Objective

The objective of this survey and study is to update utility allowances with current utility provider’s rates and charges for electric and natural gas for the **Housing Authority of the City of Freeport, IL**. The Agency has 178 dwelling units at 1 development where residents pay both of these utilities. Additionally, all units have energy efficient heaters. These allowances are based upon a reasonable consumption, from a previous engineering method study of an energy conservative family of modest circumstances and to provide for the basic essentials needed for a living environment that is safe, sanitary and healthful.

NOTE: Per the Agency’s request the Parkside development was removed from this study.

Methodology

The following steps were taken by a utility allowance specialist to accomplish the above objective.

1. Obtaining Current Utility Rates and Charges

The following information was obtained by a rate specialist and input in the Utility Providers Residential Rates and Charges document:

- a. Documentation on current residential **electric** summer and winter rates and charges from **Commonwealth Edison (ComEd)** through their internet website and telephone inquiries.
- b. Documentation on current residential **natural gas** rates and charges from **Nicor Gas** through their internet website and telephone inquiries.

Residents do not pay for water, sewer, or trash collection utilities/services.

2. Comparison of Utility Rates

A rate specialist created charts comparing the previously applied electric and natural gas rates and charges for each provider (August 2021) to the current utility rates and charges (September 2022). These charts calculate a percentage difference in utility rates.

Then the rate specialist analyzed the rate comparisons and emailed the draft charts to the Agency with a recommendation to adjust current utility allowances due to a greater than 10% change in utility rates and charges (HUD regulations 24 CFR 965.507(b)).

3. Data Gathering

a. Currently Adopted Utility Allowances

A copy of the currently adopted Utility Allowances was requested and received from the Agency.

b. Monthly Utility Consumption Averages

In a previous study models of the Agency's Public Housing units were created by qualified licensed professionals, and consumption averages were obtained

using an engineering method. The consumption averages that were affected by weather conditions were climatically adjusted with a 30-year Heating Degree Day factor (see explanation of factor below).

Since the average base consumptions developed in a previous study will not be adjusted, we gathered and utilized a copy of these monthly consumptions for back-up documentation to this study.

Note: HUD regulations for Public Housing (24 CFR 965.505 (e)) do not allow for air conditioning in the utility allowances, therefore air conditioning consumptions were eliminated from the consumption totals.

c. *Climatic Data*

In a previous study climatic data was gathered for the City of **Rockford, Illinois** (Annual Summary report 2019) from the National Oceanographic and Atmospheric Administration National Climatic Data Center (NCDC). Rockford is the nearest location with recorded data. This data is used to develop a 30-year Heating Degree Day (HDD) factor that is then applied to the average winter heating consumption totals to make additional adjustments and normalize the consumptions.

The 30-year Heating Degree Day (HDD) factor did not change and is **0.97**.

Since this factor is still the same the consumptions were not adjusted.

4. *Utility Allowance Adjustments*

The following process was conducted by a utility allowance specialist:

- a. Updated the **electric** Cost of Consumption calculation charts, from the previous study, for both developments and applicable bedroom size with **ComEd's** current utility rates and charges. A weighted average was then calculated and applied to the utility allowance totals.
- b. Updated the **natural gas** Cost of Consumption calculation charts, from the previous study, for both developments and applicable bedroom size with **Nicor Gas'** current utility rates and charges. A weighted average was then calculated and applied to the utility allowance totals.

Residents do not pay for water, sewer, or trash collection utilities/services.

The updated utility allowances were entered into Chart 1 – Proposed Monthly Utility Allowances, found in the Survey and Study Results section of this report.

5. *Utility Allowance Schedule*

Utility Allowance Schedules are not subject to approval by HUD before becoming effective, but will be reviewed in the course of audits or reviews of Agency operations (24 CFR 965.502(d)).

6. *Comparison of Current and Proposed Utility Allowances*

A comparison of the Agency's currently adopted utility allowances and the proposed allowances from this study is provided. (See Chart 2, found in the Survey and Study Results section of this report, for the comparison.)

7. *Notification, Display and Comment Period*

Per HUD regulations (24 CFR 965.507(c)), "The PHA shall give notice to all residents of proposed allowances, scheduled surcharges, and revisions thereof."

8. *Support Documentation*

Per HUD regulations (24 CFR 965.502(b)) the Agency must maintain a record that documents the basis on which allowances and scheduled surcharges, and revisions thereof, are established and revised. Such record shall be available for inspection by residents (24 CFR 965.502(c)).

This report contains a copy of all such supporting documentation.

9. *Annual Update*

HUD regulations (24 CFR 965.207) state that housing authorities shall **review allowances at least annually** and revise allowances established if there has been a **10% increase or decrease** in utility rate and charges. If an annual adjustment is not made to the current utility allowances, the agency must monitor utility rates and charges to see if a rate has changed, by itself or together with prior rate change, not adjusted for, resulting in a change of 10% or more since the last utility allowance update. This interim adjustment helps Agencies avoid costly back charges and rent adjustments. ResidentLife Utility Allowances[®] provides a quarterly Rate Monitoring Service.

10. *Individual Relief*

We have included Individual Relief Medical Equipment Allowances in the Survey and Study Results section of this report.

Please note that notice of the availability of relief from surcharges or payment of utility provider billings in excess of the allowances for resident-purchased utilities should be included in each notice to residents given in accordance with §965.502(c) and in the information given to new residents upon admission. Agencies should have written procedures regarding Individual Relief in their Admission and Continued Occupancy (ACOP) policies.

SURVEY AND STUDY RESULTS

SURVEY AND STUDY RESULTS

PUBLIC HOUSING ANNUAL UPDATE 2022

The HUD Regulation (24 CFR 965.507(a) & (b)) requirement of a comparison of the utility providers' rates and charges was conducted and indicated **a greater than 10% change in utility rates and charges** since the 2021 study was conducted. (Refer to page 2, Utility Rate Comparison, and/or Comparison of Previous and Current Utility Rates in the Support Documentation section of this report.) Therefore, the **Housing Authority of the City of Freeport, IL** is updating utility allowances for electricity and natural gas for their Public Housing (Conventional) developments where residents pay both of these utilities. Additionally, both developments have energy efficient heaters. The proposed utility allowances are shown in Chart 1 on the following page.

NOTE: Per the Agency's request the Parkside development was removed from this study.

This study was conducted in compliance with the Public Housing Utility Allowance HUD Regulations 24CFR 965, Subpart E – Resident Allowances for Utilities.

Comparison of Utility Allowances

A comparison of the Agency's currently adopted Public Housing monthly utility allowances (effective date: August 2021) and the proposed monthly utility allowances from this study are shown in Chart 2. The chart is broken down by bedroom size.

Results of Utility Allowance Comparison

Chart 2 shows increases in proposed utility allowances for the Westview development and for all bedroom sizes. Increases range from \$35.00 to \$61.00 and are due to a rise in ComEd's electric rates and taxes and Nicor Gas' natural gas rates and charges. Note that the increase in electric rates offset the decrease in monthly charges.



HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL
PUBLIC HOUSING

PROPOSED MONTHLY UTILITY ALLOWANCES
Chart 1

UPDATE 2022

Building Type: Row House/Townhouse

Westview (EE Equip: H)	0BR	1BR	2BR	3BR	4BR	5BR
Electricity (L&A)	\$40.00	\$40.00	\$46.00	\$53.00	\$60.00	\$67.00
Natural Gas (H,WH,C)	\$74.00	\$74.00	\$86.00	\$98.00	\$106.00	\$112.00
Totals	\$114.00	\$114.00	\$132.00	\$151.00	\$166.00	\$179.00

A monthly average cost of the summer and winter adjustments were used for the electric and natural gas costs.

- L&A= Lights & Appliances
- H= Space Heating
- WH= Water Heating
- C= Cooking

Note: Public Housing utility allowances are calculated similar to the method used by each utility provider. These allowances are not calculated by end use (like Section 8 HCV), but by total usage for each utility type. Utility providers' monthly charges are included in the calculations.

HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL
PUBLIC HOUSING

COMPARISON OF CURRENT AND PROPOSED UTILITY ALLOWANCES
Chart 2

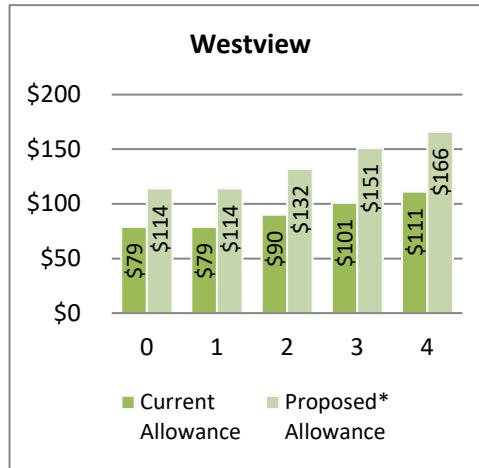
UPDATE 2022

Development	Bedroom Size	Current Allowance	Proposed* Allowance	Difference**
Westview	0	\$79.00	\$114.00	\$35.00
	1	\$79.00	\$114.00	\$35.00
	2	\$90.00	\$132.00	\$42.00
	3	\$101.00	\$151.00	\$50.00
	4	\$111.00	\$166.00	\$55.00
	5	\$118.00	\$179.00	\$61.00

Proposed allowances include the average for electric and natural gas summer and winter months.

*Proposed allowances were rounded to the nearest dollar.

**After rounding.



Individual Relief
Medical Equipment Allowances
Electric Provider: ComED (wtd avg)

Item	Hours per Day	Wattage	Monthly kWh	Energy Charge	Utility Allowance
Oxygen Concentrator	18	400	223	0.149651	\$33.00
Nebulizer	2	75	5	0.149651	\$1.00
Electric Hospital Bed	0.2	200	1	0.149651	\$1.00
Alternating Pressure Pad	24	70	52	0.149651	\$8.00
Low Air-Loss Mattress	24	120	89	0.149651	\$13.00
Power Wheelchair/Scooter	3	360	33	0.149651	\$5.00
Feeding Tube Pump	24	120	89	0.149651	\$13.00
CPAP Machine	10	30	9	0.149651	\$1.00
Leg Compression Pump	24	30	22	0.149651	\$3.00
Dialysis Machine/Equipment	2	710	44	0.149651	\$7.00

Oxygen Concentrator

Use per day varies, assume 12-14 hours a day.
The 5-Liter model uses 400 W, the 3-Liter model uses 320 W.

Nebulizer

A medicine delivery system used mostly for pediatric care.
Used 4-6 times a day for 20 minutes at a time at 75W.

Semi/Fully Electric Hospital Bed

Use depends on adjustments. 200 W.

Alternating Pressure Pad

An air-filled mattress overlay.
Used 24 hours a day for someone who is bed-ridden.

Low Air-Loss Mattress

Takes the place of mattress - air -filled pressurized mattress.
Cycles air around every 15-20 minutes.

Power Wheelchairs and Scooters

Need to be charged approximately 8 hours every 3 days.
Batteries are 120 V, 3 Amp, 360 W.

Feeding Tube Pump (Continuous Feed)

A pump delivers a constant amount of formula throughout the day or night.

CPAP Machine

Used for Sleep Apnea. Machines run only at night for people who have a tendency to stop breathing at night. At maximum pressure use is 40 Watts. On average - 30 Watts.

Leg Compression Pump

Provides intensive compression therapy. Use varies, generally from 8-24 hours daily.

Dialysis Machine/Equipment (Small/Portable)

Filters a patient's blood to remove excess water and waste products. Used 2 hours daily.

MONTHLY CONSUMPTION TOTALS & BUILDING TYPE DESCRIPTIONS

HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL
PUBLIC HOUSING

MONTHLY UTILITY CONSUMPTION TOTALS

Consumptions developed in a previous study using an engineering method - 2020
 (Heating consumptions climatically adjusted with a 30-year HDD factor - 2019)

Building Type: Row House/Townhouse

Westview (EE Equip: H)	0BR	1BR	2BR	3BR	4BR	5BR
Electricity (kWh) (L&A)	168	168	209	256	300	346
Natural Gas (ccfs) S(WH,C)	16	16	20	22	24	26
Natural Gas (ccfs) W(H,WH,C)	47	47	58	70	78	83

L&A= Lights & Appliances

H= Space Heating

WH= Water Heating

C= Cooking

S= Summer

W= Winter

Summer: June - September (4), Winter: October - May (8)

Seasons based on ComEd's electric summer & winter months.

Building Type (Structure) Descriptions

1. **Apartment/Walk-Up/Condominium/Garden Apartment/Low-Rise/Flat (Apt)**

- a. Building with a group of 3 individual **units** with common walls; attached to other units; separate entrances, and may have common staircases.
- b. Each **building** may have an end unit, inside unit, top unit, bottom unit, etc. **Building** will have 2 or more stories.
- c. Usually, but not always, there will be units on both sides of building.

2. **High Rise Apartment (H-R)**

A multi-unit building; 5 or more stories; sharing one or more common entrances. May have an elevator.

3. **Row House/Townhouse/Triplex/Fourplex/Multiplex (RH)**

- a. An individual unit attached to other individual units; 2 or more common walls; separate ground level entrances; 1 or 2 story **units**.
- b. Each building will have end units and inside units.
- c. Fourplex units usually share 2 common walls; can be square-shaped or L-shaped.
- d. Triplex building can be V-shaped.

4. **Semi-Detached/Duplex (S-D or SD)**

Building with 2 individual housing units; with separate entrances; one common wall; 1 or 2 story units.

5. **Detached House (DH)**

A detached building intended to house one family; sits on its own piece of land; not attached to another dwelling.

UTILITY ALLOWANCE COST OF CONSUMPTION CALCULATIONS

HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL

PUBLIC HOUSING

UTILITY ALLOWANCE COST OF CONSUMPTION CALCULATIONS

ELECTRICITY - ComEd (Commonwealth Edison)

UPDATE 2022

Westview

Building Type: Row House/Townhouse

Monthly Average Unit Consumption kWh for all bedroom types - Summer	0BR	1BR	2BR	3BR	4BR	5BR
	168	168	209	256	300	346
Total Monthly Charges Per Month \$13.61	\$13.61	\$13.61	\$13.61	\$13.61	\$13.61	\$13.61
Total Energy Charges Per KWH 0.158451	\$26.62	\$26.62	\$33.12	\$40.56	\$47.54	\$54.82
<i>Subtotal</i>	\$40.23	\$40.23	\$46.73	\$54.17	\$61.15	\$68.43
Franchise Cost Percentage % of Total 2.283%	\$0.92	\$0.92	\$1.07	\$1.24	\$1.40	\$1.56
Total Monthly Cost - Summer	\$41.15	\$41.15	\$47.80	\$55.41	\$62.55	\$69.99

Monthly Average Unit Consumption kWh for all bedroom types - Winter	0BR	1BR	2BR	3BR	4BR	5BR
	168	168	209	256	300	346
Total Monthly Charges Per Month \$13.61	\$13.61	\$13.61	\$13.61	\$13.61	\$13.61	\$13.61
Total Energy Charges Per KWH 0.145251	\$24.40	\$24.40	\$30.36	\$37.18	\$43.58	\$50.26
<i>Subtotal</i>	\$38.01	\$38.01	\$43.97	\$50.79	\$57.19	\$63.87
Franchise Cost Percentage % of Total 2.283%	\$0.87	\$0.87	\$1.00	\$1.16	\$1.31	\$1.46
Total Monthly Cost - Winter	\$38.88	\$38.88	\$44.97	\$51.95	\$58.50	\$65.33

Averaging Months	0BR	1BR	2BR	3BR	4BR	5BR
Summer Annual Avg 4	\$164.60	\$164.60	\$191.20	\$221.64	\$250.20	\$279.96
Winter Annual Avg 8	\$311.04	\$311.04	\$359.76	\$415.60	\$468.00	\$522.64
Total Monthly Cost (Based on Annual Average)	\$39.64	\$39.64	\$45.91	\$53.10	\$59.85	\$66.88

Summer: June - September (4), Winter: October - May (8)
 Seasons based on ComEd's electric summer & winter months.

HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL
PUBLIC HOUSING

UTILITY ALLOWANCE COST OF CONSUMPTION CALCULATIONS

NATURAL GAS - Nicor Gas

UPDATE 2022

Westview

Building Type: Row House/Townhouse

	0BR	1BR	2BR	3BR	4BR	5BR
Monthly Average Unit Consumption ccf for all bedroom types - Summer	16	16	20	22	24	26
Total Monthly Charges Per Month \$23.61	\$23.61	\$23.61	\$23.61	\$23.61	\$23.61	\$23.61
Total Energy Charges Per CCF 1.374081	\$21.99	\$21.99	\$27.48	\$30.23	\$32.98	\$35.73
<i>Subtotal</i>	\$45.60	\$45.60	\$51.09	\$53.84	\$56.59	\$59.34
Public Utility Fund (Rider 8) % of Total 0.1%	\$0.05	\$0.05	\$0.05	\$0.05	\$0.06	\$0.06
Total Monthly Cost - Summer	\$45.65	\$45.65	\$51.14	\$53.89	\$56.65	\$59.40

	0BR	1BR	2BR	3BR	4BR	5BR
Monthly Average Unit Consumption ccf for all bedroom types - Winter	47	47	58	70	78	83
Total Monthly Charges Per Month \$23.61	\$23.61	\$23.61	\$23.61	\$23.61	\$23.61	\$23.61
Total Energy Charges Per CCF 1.374081	\$64.58	\$64.58	\$79.70	\$96.19	\$107.18	\$114.05
<i>Subtotal</i>	\$88.19	\$88.19	\$103.31	\$119.80	\$130.79	\$137.66
Public Utility Fund (Rider 8) % of Total 0.1%	\$0.09	\$0.09	\$0.10	\$0.12	\$0.13	\$0.14
Total Monthly Cost - Winter	\$88.28	\$88.28	\$103.41	\$119.92	\$130.92	\$137.80

Averaging Months	0BR	1BR	2BR	3BR	4BR	5BR
Summer Annual Avg 4	\$182.60	\$182.60	\$204.56	\$215.56	\$226.60	\$237.60
Winter Annual Avg 8	\$706.24	\$706.24	\$827.28	\$959.36	\$1,047.36	\$1,102.40
Total Monthly Cost (Based on Annual Average)	\$74.07	\$74.07	\$85.99	\$97.91	\$106.16	\$111.67

Summer: June - September (4), Winter: October - May (8)
 Seasons based on ComEd's electric summer & winter months.

SUPPORT DOCUMENTATION

UTILITY PROVIDER RATES AND CHARGES

HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL

PUBLIC HOUSING

Utility Providers Residential Rates and Charges As of September 2022

UPDATE 2022

ELECTRICITY

Source: ComEd (Commonwealth Edison)

800-334-7661

www.comed.com*

Summer (June - September) (4)		Residential
Winter (October - May) (8)		Residential
Customer Charge*	Per Month	\$9.73
Standard Metering Services Charge*	Per Month	\$3.35
Energy Assistance Charge	Per Month	\$0.48
Renewable Energy Surcharge	Per Month	\$0.05
Total Monthly Charges	Per Month	\$13.61
	Tiers	All
Distribution Facilities Charge*	Per KWH	0.038616
IEDT*	Per KWH	0.001245
Purchased Electric Chgs (PEC) <i>(Summer)</i>	Per KWH	0.09738
Purchased Electric Chgs (PEC) <i>(Winter)</i>	Per KWH	0.08418
Purchased Electricity Adjustment (PEA)	Per KWH	-0.005
PJM Service Charge	Per KWH	0.00887
Environmental Cost Recovery (ECR)	Per KWH	0.00041
Energy Efficiency Adjustment (EE)	Per KWH	0.00233
Renewable Energy Adjustment	Per KWH	0.00502
Municipal & State Tax Additions	Per KWH	0.00958
Total Energy Charges <i>(Summer)</i>	Per KWH	0.158451
Total Energy Charges <i>(Winter)</i>	Per KWH	0.145251
Franchise Cost Percentage	% of Total	2.283%
Year Round Weighted Average		Residential
	Tiers	All
Total Energy Charges (wtd avg)	Per KWH	0.149651

*Includes IDUF factor 1.0038

Continued...

HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL

PUBLIC HOUSING

NATURAL GAS

Source: Nicor Gas

877-860-6020

www.nicorgas.com*

Year Round		Rate 1
Customer Charge	Per Month	\$22.74
Uncollectible Expense Adj (Rider 26)	Per Month	-\$0.20
QIP Charge* (2.41%)	Per Month	\$0.54
Energy Assistance Charge (Rider 1)	Per Month	\$0.48
Renewable Energy Charge (Rider 1)	Per Month	\$0.05
Total Monthly Charges	Per Month	\$23.61
	Tiers	All
Distribution Charge	Per Therm	0.1067
Storage Service Cost Recovery	Per Therm	0.0004
QIP Charge* (2.41%)	Per Therm	0.002581
Invested Capital Tax Adjustment (Rider 3)	Per Therm	0.0016
Gas Supply Charge (Rider 6)	Per Therm	1.2138
Environmental Cost Recovery (Rider 12)	Per Therm	0.0153
Energy Eff. Cost Recovery (Rider 30)	Per Therm	0.0097
State Utility Tax	Per Therm	0.024
Total Energy Charges	Per Therm	1.374081
Public Utility Fund (Rider 8)	% of Total	0.1%

*Percent of Base Charges

UTILITY PROVIDER DOCUMENTATION



UTILITY PROVIDER LIST

Housing Agency/Property: Housing Authority of the City of Freeport, IL

Please Specify ALL Applicable Resident-Paid Utility Types Below:
E = Electric, NG = Natural Gas, BG = Bottled Gas/Propane, F = Fuel Oil, W = Water, S = Sewer, T = Trash

For Tenant-Paid Utilities Only

RESIDENT-PAID PUBLIC HOUSING

Number of Units:

Utility Type	Utility Provider Name	Optional: Phone #	Optional: Website
E	ComEd	800-334-7661	
E	City of Freeport		Created By: Rane
NG	Nicor Gas	888-642-6748	Sourced By: Agency

Fax: 817-922-9100

Email: ResidentLife@nelrod.com

DELIVERY SERVICE CHARGES

Supplement to Rate DSPP (1)

RESIDENTIAL DELIVERY SERVICE CHARGES.

	For Service Provided Beginning with the January 2021 Monthly Billing Period and Extending Through the December 2021 Monthly Billing Period (2) (5)	For Service Provided Beginning with the January 2022 Monthly Billing Period and Extending Through the December 2022 Monthly Billing Period (2) (6)
Residential Single Family Without Electric Space Heat Delivery Class		
Customer Charge (CC)	\$9.72 x IDUF _R	\$9.69 x IDUF _R
Standard Metering Service Charge (SMSC)	\$3.64 x IDUF _R	\$3.34 x IDUF _R
Distribution Facilities Charge (DFC) (\$/kWh)	\$0.03567 x IDUF _R	\$0.03847 x IDUF _R
Illinois Electricity Distribution Tax Charge (IEDT) (\$/kWh)	\$0.00121 x IDUF _R	\$0.00124 x IDUF _R
Residential Multi Family Without Electric Space Heat Delivery Class		
CC	\$6.94 x IDUF _R	\$7.04 x IDUF _R
SMSC	\$3.64 x IDUF _R	\$3.34 x IDUF _R
DFC (\$/kWh)	\$0.02890 x IDUF _R	\$0.03088 x IDUF _R
IEDT (\$/kWh)	\$0.00121 x IDUF _R	\$0.00124 x IDUF _R
Residential Single Family With Electric Space Heat Delivery Class		
CC	\$11.11 x IDUF _R	\$11.17 x IDUF _R
SMSC	\$3.64 x IDUF _R	\$3.34 x IDUF _R
DFC (\$/kWh)	\$0.01717 x IDUF _R	\$0.01683 x IDUF _R
IEDT (\$/kWh)	\$0.00121 x IDUF _R	\$0.00124 x IDUF _R
Residential Multi Family With Electric Space Heat Delivery Class		
CC	\$7.56 x IDUF _R	\$7.71 x IDUF _R
SMSC	\$3.64 x IDUF _R	\$3.34 x IDUF _R
DFC (\$/kWh)	\$0.01745 x IDUF _R	\$0.01620 x IDUF _R
IEDT (\$/kWh)	\$0.00121 x IDUF _R	\$0.00124 x IDUF _R

(Continued on Informational Sheet No. 25)

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Date Effective: December 8, 2021
Issued by T. R. Donnelly, President and COO
Post Office Box 805379
Chicago, Illinois 60680-5379

INCREMENTAL UNCOLLECTIBLE COST FACTORS

Supplement to Rider UF (1)

Incremental Distribution Uncollectible Cost Factors (IDUFs) (2)		
	IDUFs Applicable Beginning with the June 2022 Monthly Billing Period and Extending Through the August 2022 Monthly Billing Period (5)	IDUFs Applicable Beginning with the September 2022 Monthly Billing Period and Extending Through the May 2023 Monthly Billing Period (5)
IDUF _R	1.0041	1.0038
IDUF _N	0.9985	0.9983
IDUF _A	0.9998	1.0003
Incremental Supply Uncollectible Cost Factors (ISUFs)		
	ISUFs Applicable Beginning with the June 2022 Monthly Billing Period and Extending Through the August 2022 Monthly Billing Period (6)	ISUFs Applicable Beginning with the September 2022 Monthly Billing Period and Extending Through the May 2023 Monthly Billing Period (6)
ISUF _R (3)	0.9941	0.9948
ISUF _N (3)	0.9936	0.9958
ISUF _A (3)	0.9941	0.9669
ISUF _{SYS} (4)	0.9940	0.9941

NOTES:

- (1) This informational sheet is supplemental to Rider UF - Uncollectible Factors (Rider UF).
- (2) IDUFs are applied as shown in the Delivery Service Charges Informational Sheets (Informational Sheet No. 24 through Informational Sheet No. 31) and in accordance with the provisions of the Zero Standard Credit subsection of the Monthly Credit and Charge section of Rider ZSS - Zero Standard Service (Rider ZSS).
- (3) ISUFs are applied in accordance with the provisions of the Monthly Charges section of Rate BES - Basic Electric Service (Rate BES).
- (4) ISUF_{SYS} is applied in accordance with the provisions of the Monthly Charges section of Rate BESH - Basic Electric Service Hourly Pricing (Rate BESH).
- (5) IDUFs incorporate a Distribution Balancing Factor (DBF) in accordance with the provisions in Rider UF.
- (6) ISUFs incorporate a Supply Balancing Factor (SBF) in accordance with the provisions in Rider UF.

**RIDER RCA
RETAIL CUSTOMER ASSESSMENTS**

Applicable to Rate BES, Rate BESH, and Rate RDS

**RENEWABLE ENERGY RESOURCES AND
COAL TECHNOLOGY DEVELOPMENT ASSISTANCE CHARGE.**

Pursuant to the provisions of the Renewable Energy, Energy Efficiency, and Coal Resources Development Law of 1997, enacted on December 16, 1997, authorizing the assessment of charges for renewable energy resources and coal technology development assistance on retail customers' monthly bills for electric service, and as amended on August 20, 2021, the Company includes the following Renewable Energy Resources and Coal Technology Development Assistance Charge, as applicable, on each retail customer's monthly bill:

For a residential retail customer	\$0.05
For any other retail customer	
If such retail customer's highest demand during the previous calendar year was less than 10,000 kilowatts (kW)	\$0.50
If such retail customer's highest demand during the previous calendar year was at least 10,000 kW	\$37.50

The Renewable Energy Resources and Coal Technology Development Assistance Charge is assessed through December 31, 2025, in accordance with Illinois Public Act 102-0444.

*

(Continued on Sheet No. 256.1)

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Post Office Box 805379
Chicago, Illinois 60680-5379

**RIDER RCA
RETAIL CUSTOMER ASSESSMENTS**

(Continued from Sheet No. 256)

* **ENERGY ASSISTANCE CHARGE
FOR THE SUPPLEMENTAL LOW-INCOME ENERGY ASSISTANCE FUND.**

Pursuant to the provisions of Section 13 of the Energy Assistance Act of 1989, as amended on November 30, 2021, authorizing the assessment of charges for the Supplemental Low-Income Energy Assistance Fund (305 ILCS 20/13) on retail customers' monthly bills for electric service, the Company includes the Energy Assistance Charge for the Supplemental Low-Income Energy Assistance Fund, as applicable, on each retail customer's monthly bill determined in accordance with the following formulas:

For a residential retail customer	BEAC x 1
For any other retail customer	
If such retail customer's highest demand during the previous calendar year was less than 10,000 kW	BEAC x 10
If such retail customer's highest demand during the previous calendar year was at least 10,000 kW	BEAC x 375

Where BEAC is the Base Energy Assistance Charge as specified in 305 ILCS 20/13. The initial BEAC shall be \$0.48 per month. Subsequent BEACs shall increase by \$0.16 per month for any calendar year, provided that at least 80% of the previous State fiscal year's available Supplemental Low Income Energy Assistance Fund funding has been exhausted, not to exceed \$0.96 per month for any calendar year. The effective Energy Assistance Charges can be found in Informational Sheet No. 41.

Pursuant to the provisions of Section 8-105 of the Public Utilities Act (Act), in 2011 the Company must offer programs originally authorized pursuant to the provisions of Section 16-111.5A(e) of the Act for retail customers in need, including a percentage of income payment plan. The Company is reimbursed for costs it incurs in offering such programs from the Supplemental Low-Income Energy Assistance Fund pursuant to the provisions of Section 8-105 of the Act.

The Energy Assistance Charge for the Supplemental Low-Income Energy Assistance Fund is assessed and updated on the Company's monthly billing period cycle through December 31, 2025, in accordance with Illinois Public Act 102-0673.

(Continued on Sheet No. 257)

PURCHASED ELECTRICITY CHARGES

Supplement to Rate BES and Rider PE (1)

Customer Group or Subgroup	Units	Purchased Electricity Charges (PECs) Applicable for the September 2022 Monthly Billing Period Monthly Billing Period (2) (3) (4) (5)	
		Summer PEC (6)	Nonsummer PEC
Residential	¢/kWh	9.704	7.783
Watt-hour Non-Electric Space Heating	¢/kWh	9.784	7.807
Demand Non-Electric Space Heating	¢/kWh	9.963	7.867
Nonresidential Electric Space Heating	¢/kWh	7.742	7.834
Dusk to Dawn Lighting	¢/kWh	3.226	3.851
General Lighting	¢/kWh	7.459	7.560

Customer Group or Subgroup	Units	PECs Applicable Beginning with the October 2022 Monthly Billing Period and Extending Through the May 2023 Monthly Billing Period (2) (3) (4) (7)	
		Summer PEC (6)	Nonsummer PEC
Residential	¢/kWh	9.738	8.418
Watt-hour Non-Electric Space Heating	¢/kWh	9.807	8.438
Demand Non-Electric Space Heating	¢/kWh	9.989	8.502
Nonresidential Electric Space Heating	¢/kWh	8.110	8.465
Dusk to Dawn Lighting	¢/kWh	3.379	4.034
General Lighting	¢/kWh	7.814	8.173

NOTES:

- (1) This informational sheet is supplemental to Rate BES - Basic Electric Service (Rate BES) and Rider PE - Purchased Electricity (Rider PE).
- (2) PECs are designated on retail customer bills as the Electricity Supply Charge pursuant to Rate BES.
- (3) PECs include Supply Base Uncollectible Cost Factors (Supply BUFs) as listed in Informational Sheet No. 21.
- (4) PECs incorporate Incremental Supply Uncollectible Cost Factors (ISUFs) as listed in Informational Sheet No. 20, which include a Supply Balancing Factor (SBF) in accordance with the provisions of Rider UF - Uncollectible Factors (Rider UF).
- (5) PECs incorporate the results of the Spring 2022 Procurement Event approved by the ICC on April 21, 2022, the PJM Financial Transmission Rights (FTR) Auctions finalized May 2, 2022, and the Supplemental Block Energy Procurement Event approved by the ICC on May 20, 2022.
- (6) The Summer PECs are applicable in the months of June, July, August, and September.
- (7) PECs incorporate the results of the Fall 2022 Procurement Event approved by the ICC on September 15, 2022.

Year 2022 Record of Hourly Purchased Electricity
Adjustment Factors (HPEAs), Purchased Electricity
Adjustment Factors (PEAs) and Residential Time of Use
Purchased Electricity Adjustment Factors (RTOU PEAs)

As provided for in Rate BESH – Basic Electric Service Hourly Pricing, Rider PE – Purchased Electricity and Rate RTOUPP – Residential Time of Use Pricing Pilot, HPEAs, PEAs and RTOU PEAs are determined and applied to kilowatt-hours (kWhs) provided in the applicable effective period for which ComEd procures full requirements electric supply or directly procures electric power and energy supply, as applicable.

Effective Monthly Billing Period	Charge of (Credit) (cents/kWh)		
	PEA	HPEA	RTOU PEA
January 2022	(0.232)	(0.500)	0.341
February 2022	0.500	(0.097)	0.500
March 2022	0.500	(0.384)	0.500
April 2022	0.115	(0.500)	(0.500)
May 2022	0.326	0.500	(0.500)
June 2022	0.193	0.500	(0.500)
July 2022	0.336	(0.075)	(0.161)
August 2022	0.500	0.500	0.500
September 2022	0.500	0.500	0.500
October 2022	(0.500)	0.500	0.500

PJM SERVICES CHARGE

Supplement to Rate BESH and Rider PPO (1)

PJM Services Charge (PSC) Applicable for the September 2022 Monthly Billing Period (2) (3) (4)	0.892 ¢/kWh
PSC Applicable Beginning with the October 2022 Monthly Billing Period and Extending Through the May 2023 Monthly Billing Period (2) (3) (4)	0.887 ¢/kWh

NOTES:

- (1) This informational sheet is supplemental to Rate BESH - Basic Electric Service Hourly Pricing (Rate BESH) and Rider PPO - Power Purchase Option (Rider PPO).
- (2) The PSC is designated on retail customer bills as the Transmission Services Charge pursuant to Rate BESH and Rider PPO.
- (3) The PSC includes the System Average Supply Base Uncollectible Cost Factor (SBUF_{sys}) listed in Informational Sheet No. 21.
- (4) The PSC includes the System Average Incremental Supply Uncollectible Cost Factor (ISUF_{sys}) listed in Informational Sheet No. 20.

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 Post Office Box 805379
 Chicago, Illinois 60680-5379

ENVIRONMENTAL COST RECOVERY ADJUSTMENT

Supplement to Rider ECR (1)

ECR Applicable Beginning with the April 2022 Monthly Billing Period and Extending Through the July 2022 monthly Billing Period (2)
0.046 ¢/kWh

ECR Applicable Beginning with the August 2022 Monthly Billing Period and Extending Through the December 2022 monthly Billing Period (2)
0.041 ¢/kWh

NOTES:

- (1) This informational sheet is supplemental to Rider ECR - Environmental Cost Recovery Adjustment (Rider ECR).
- (2) An X.XXX value is a charge, while an (X.XXX) value is a credit.

ENERGY EFFICIENCY ADJUSTMENTS

Supplement to Rider EEPP (1)

Customer Group	EE Adjustment Applicable for the January 2022 Monthly Billing Period Period (2)(3)
Residential	0.233 ¢/kWh
Small N&L (4)	0.362 ¢/kWh
Large N (5)	0.174 ¢/kWh

Customer Group	EE Adjustment Applicable Beginning with the February 2022 Monthly Billing Period and Extending Through the December 2022 Monthly Billing Period (2)(3)
Residential	0.233 ¢/kWh
Small N&L (4)	0.363 ¢/kWh
Large N (5)	0.157 ¢/kWh

NOTES:

- (1) This informational sheet is supplemental to Rider EEPP – Energy Efficiency Pricing and Performance (Rider EEPP).
- (2) The EE Adjustment is designated on retail customer bills as the Energy Efficiency Programs.
- (3) An X.XXX value is a charge, while an (X.XXX) value is a credit.
- (4) Small N&L Group means the designation applicable to retail customers, each to which (a) one of the (i) Watt-Hour Delivery Class, (ii) Small Load Delivery Class, (iii) Medium Load Delivery Class, (iv) Large Load Delivery Class, (v) Fixture-Included Lighting Delivery Class, (vi) Dusk to Dawn Lighting Delivery Class, or (vii) General Lighting Delivery Class is applicable, and (b) the Opt-out Group is not applicable.
- (5) Large N Group means the designation applicable to retail customers, each to which (a) one of the (i) Very Large Load Delivery Class, (ii) Extra Large Load Delivery Class, or (iii) High Voltage Delivery Class, is applicable, and (b) the Opt-out Group is not applicable.

RENEWABLE ENERGY ADJUSTMENTS

Supplement to Rider REA (1)

RE Adjustment Applicability (2)	RE Adjustment Applicable for the October 2021 Monthly Billing Period and Extending Through the January 2022 Monthly Billing Period (3)
All Retail Customers	0.189 ¢/kWh
RE Adjustment Applicability (2)	RE Adjustment Applicable Beginning with the February 2022 Monthly Billing Period and Extending Through the August 2023 Monthly Billing Period (3)
All Retail Customers	0.502 ¢/kWh

NOTES:

- (1) This informational sheet is supplemental to Rider REA - Renewable Energy Adjustment (Rider REA).
- (2) The RE Adjustment is designated on retail customer bills as the Renewable Portfolio Standard.
- (3) An X.XXX value is a charge, while an (X.XXX) value is a credit.

**RIDER TAX
MUNICIPAL AND STATE TAX ADDITIONS**

Applicable to All Rates Except Rate RESS and Rate MSPS

STATE TAX ADDITIONS.

* Pursuant to the provisions of the Electricity Excise Tax Law, 35 ILCS 640/2-4, imposing an excise tax on the privilege of using electricity purchased for use or consumption and not for resale, the Company charges state tax additions based upon the following cents per kilowatt-hour (¢/kWh) rates applied, as appropriate, to the kilowatt-hours (kWhs) delivered to retail customers, excluding business enterprises exempted under Section 2-4(c) and self-assessing purchasers as defined in the Electricity Excise Tax Law, 65 ILCS 640/2-3:

		<u>¢/kWh</u>
for the first	2,000 kWh used in a month	0.330
for the next	48,000 kWh used in a month	0.319
for the next	50,000 kWh used in a month	0.303
for the next	400,000 kWh used in a month	0.297
for the next	500,000 kWh used in a month	0.286
for the next	2,000,000 kWh used in a month	0.270
for the next	2,000,000 kWh used in a month	0.254
for the next	5,000,000 kWh used in a month	0.233
for the next	10,000,000 kWh used in a month	0.207
for all over	20,000,000 kWh used in a month	0.202

The total amount of such state tax additions is separately stated on the monthly bill of each retail customer to which such additions are applicable.

MUNICIPAL TAX ADDITIONS.

For each municipality that has adopted an ordinance imposing a tax on the privilege of using or consuming electricity acquired in a purchase at retail and used or consumed within the corporate limits of such municipality based on the kWh categories specified in Section 8-11-2, subparagraph 3 of the Illinois Municipal Code, 65 ILCS 5/8-11-2(3), the Company charges municipal tax additions based upon the ¢/kWh rates listed in this Municipal Tax Additions section for such municipality applied, as appropriate, to the kWhs delivered to all retail customers located within the corporate limits of such municipality.

The rates, in ¢/kWh, listed in this Municipal Tax Additions section for each such municipality include an addition equal to three percent (3%) of the tax to provide for reimbursement of administrative expenses as allowed by Section 8-11-2 subsection 4(c) of the Illinois Municipal Code, 65 ILCS 5/8-11-2(4c), as amended.

The total amount of such municipal tax additions is separately stated on the monthly bill of each retail customer to which such additions are applicable with the designation "Municipal Tax" or "City Tax" or by a similar legend.

(Continued on Sheet No. 259)

RIDER TAX
MUNICIPAL AND STATE TAX ADDITIONS

(Continued from Sheet No. 260)

MUNICIPAL TAX ADDITIONS (CONTINUED).

<u>Municipality</u>	<u>Municipal Tax Addition Rates in ¢/kWh</u>									
	<u>A</u>	<u>B</u>	<u>C</u>	<u>D</u>	<u>E</u>	<u>F</u>	<u>G</u>	<u>H</u>	<u>I</u>	<u>J</u>
Flossmoor	0.562	0.392	0.381	0.371	0.301	0.268	0.237	0.196	0.144	0.093
Ford Heights	0.607	0.398	0.358	0.348	0.338	0.318	0.313	0.308	0.303	0.299
Forest Park	0.559	0.359	0.358	0.319	0.316	0.263	0.227	0.191	0.155	0.118
* Forest View	0.402	0.263	0.237	0.231	0.224	0.211	0.208	0.204	0.201	0.198
Fox Lake	0.628	0.412	0.371	0.361	0.350	0.330	0.324	0.319	0.314	0.309
Fox River Grove	0.579	0.380	0.342	0.333	0.322	0.304	0.299	0.295	0.289	0.284
Frankfort	0.628	0.412	0.371	0.361	0.350	0.330	0.324	0.319	0.314	0.309
Franklin Park	0.610	0.400	0.359	0.349	0.340	0.319	0.314	0.310	0.305	0.300
Freeport	0.628	0.412	0.371	0.361	0.350	0.330	0.324	0.319	0.314	0.309
Fulton	0.628	0.412	0.371	0.361	0.350	0.330	0.324	0.319	0.314	0.309
Genoa	0.579	0.380	0.342	0.333	0.322	0.304	0.299	0.295	0.289	0.285
Gilberts	0.606	0.397	0.357	0.347	0.337	0.317	0.312	0.308	0.303	0.298
Glencoe	0.628	0.412	0.371	0.361	0.350	0.330	0.324	0.319	0.314	0.309
Glendale Heights	0.461	0.303	0.273	0.265	0.258	0.242	0.239	0.235	0.231	0.228
Glen Ellyn	0.569	0.377	0.375	0.361	0.350	0.339	0.327	0.247	0.175	0.082
Glenview	0.556	0.366	0.346	0.345	0.340	0.338	0.294	0.206	0.144	0.082
Glenwood	0.561	0.359	0.358	0.357	0.350	0.330	0.309	0.288	0.268	0.247
Godley	0.607	0.398	0.358	0.348	0.338	0.318	0.313	0.308	0.304	0.299
Golf	0.568	0.372	0.335	0.325	0.316	0.298	0.293	0.288	0.283	0.279
Grant Park	0.586	0.384	0.346	0.336	0.327	0.307	0.303	0.298	0.293	0.288
Grayslake	0.581	0.381	0.342	0.334	0.323	0.305	0.301	0.295	0.290	0.286
Green Oaks	0.628	0.412	0.371	0.361	0.350	0.330	0.324	0.319	0.314	0.309
Hainesville	0.588	0.386	0.347	0.338	0.329	0.309	0.304	0.299	0.295	0.289
Hampshire	0.366	0.240	0.216	0.210	0.204	0.192	0.188	0.186	0.183	0.180
Hanover Park	0.628	0.412	0.371	0.361	0.350	0.330	0.324	0.319	0.314	0.309
Harvard	0.552	0.363	0.325	0.317	0.308	0.289	0.285	0.281	0.276	0.272
Harvey	0.607	0.377	0.333	0.332	0.331	0.309	0.293	0.280	0.258	0.227
Harwood Heights	0.610	0.412	0.381	0.329	0.321	0.278	0.227	0.165	0.124	0.082
Hawthorn Woods	0.628	0.412	0.371	0.361	0.350	0.330	0.324	0.319	0.314	0.309
Hazel Crest	0.584	0.355	0.338	0.320	0.185	0.175	0.165	0.134	0.113	0.082
Hebron	0.551	0.362	0.325	0.316	0.307	0.288	0.284	0.280	0.275	0.271
Hickory Hills	0.578	0.379	0.341	0.332	0.322	0.303	0.299	0.294	0.288	0.284
Highland Park	0.563	0.397	0.372	0.335	0.334	0.333	0.332	0.237	0.144	0.082
Highwood	0.628	0.412	0.371	0.361	0.350	0.330	0.324	0.319	0.314	0.309
Hillside	0.604	0.397	0.356	0.346	0.337	0.317	0.312	0.307	0.302	0.297

LEGEND

Municipal Tax Addition Rates Categories

A: for the first	2,000 kWh used in the month	F: for the next	2,000,000 kWh used in the month
B: for the next	48,000 kWh used in the month	G: for the next	2,000,000 kWh used in the month
C: for the next	50,000 kWh used in the month	H: for the next	5,000,000 kWh used in the month
D: for the next	400,000 kWh used in the month	I: for the next	10,000,000 kWh used in the month
E: for the next	500,000 kWh used in the month	J: for all over	20,000,000 kWh used in the month

(Continued on Sheet No. 262)

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65 ILCS 5/8-11-2, as amended.
Asterisk (*) indicates change.

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Post Office Box 805379
Chicago, Illinois 60680-5379

FRANCHISE COST PERCENTAGES

(Continued from Informational Sheet No. 11)

Municipality	FC% Applicable Beginning with the June 2021 Monthly Billing Period and Extending Through the May 2022 Monthly Billing Period (2)	FC% Applicable Beginning with the June 2022 Monthly Billing Period and Extending Through the May 2023 Monthly Billing Period (2)
ESSEX	3.895%	3.583%
EVANSTON	1.494%	0.000%
EVERGREEN PARK	3.617%	3.442%
FLOSSMOOR	4.940%	5.801%
FORD HEIGHTS	9.007%	7.619%
FOREST PARK	1.887%	2.131%
FORESTVIEW	6.129%	7.323%
FORRESTON	1.774%	1.894%
FOX LAKE	2.316%	2.341%
FOX RIVER GR	1.672%	1.658%
FRANKFORT	1.140%	1.100%
FRANKLIN GROVE	4.293%	4.415%
FRANKLIN PARK	1.026%	1.270%
FREEPOR	2.258%	2.283%
FULTON	1.394%	1.375%
GARDNER	0.620%	0.628%
GENOA	3.711%	4.416%
GERMAN VALLEY	3.187%	3.003%
GILBERTS	0.852%	0.856%
GLEN ELLYN	3.145%	3.664%
GLENCOE	2.931%	3.184%
GLENDALE HEIGHTS	1.969%	2.385%
GLENVIEW	2.351%	2.537%
GLENWOOD	3.265%	3.880%
GODLEY	1.819%	1.279%
GOLF	1.530%	1.445%
GRAND RIDGE	1.055%	1.106%
GRANT PARK	1.584%	1.075%
GRAYSLAKE	1.141%	1.272%
GREEN OAKS	0.223%	0.240%
GREENWOOD	0.465%	0.475%
GURNEE	2.144%	2.338%
HAINESVILLE	1.553%	1.724%
HAMPSHIRE	0.569%	0.527%
HANOVER PARK	3.239%	3.638%
HARMON	3.328%	3.442%
HARVARD	2.482%	3.138%
HARVEY	1.128%	1.407%
HARWOOD HEIGHTS	2.122%	2.504%
HAWTHORN WOODS	1.896%	2.055%
HAZELCREST	2.800%	3.039%
HEBRON	2.070%	1.921%
HERSCHER	1.439%	1.857%
HICKORY HILLS	1.991%	2.035%
HIGHLAND PARK	2.296%	2.690%
HIGHWOOD	1.334%	1.470%
HILLSIDE	5.185%	5.311%
HINCKLEY	1.615%	1.566%
HINSDALE	2.061%	2.443%
HODGKINS	1.784%	2.030%
HOFFMAN ESTATES	2.125%	2.435%

(Continued on Informational Sheet No. 13)

**Rate 1
Residential Service**

Availability.

This rate is available to any single-family residential Customer using the Company's gas service primarily for residential purposes.

*** Charges shall be the sum of (a), (b) and (c).**

- (a) Monthly Customer Charge
\$22.74 per month.

- (b) Distribution Charge
10.67¢ per therm for all therms supplied to the Customer in the month.

- (c) Gas Supply Cost
The Gas Cost (GC) per therm supplied in the month as determined in accordance with the Company's Rider 6, Gas Supply Cost.

Term of Service.

The Customer's term of service shall commence when the Company begins to supply service hereunder. Customer shall provide at least 10 days notice to discontinue service.

Combination Residence and Business.

Gas will be supplied hereunder for the entire requirements of a combined residence and business, if the preponderant requirement is for residential purposes.

General.

The Schedule of which this rate is part includes certain general Terms and Conditions and Riders. Service hereunder is subject to these Terms and Conditions and the Riders which are listed as applicable to this rate.

**Northern Illinois Gas Company
d/b/a Nicor Gas Company**

26th INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.
79, 79.1, 79.2, 79.3, 79.4, 79.5 AND 79.6 OF ILL.C.C. NO. 16, SCHEDULE G

(Superseding 24th Information Sheet Effective September 1, 2021)

Rider 26. Uncollectible Expense Adjustment

Applicable to Rates 1, 4, 5, 74 and 75

Uncollectible Expense Adjustment Effective with Service Rendered on or after September 1, 2022

LINE NO.		Residential Sales <u>Customers 1/</u>	Residential Transportation <u>Customers 2/</u>	Non-Residential Sales <u>Customers 3/</u>	Non-Residential Transportation <u>Customers 4/</u>
1	Basic Charge per Customer	\$ (0.20)	\$ (0.04)	\$ (0.34)	\$ (0.05)
2	Annual Reconciliation Charge	\$ <u>0.00</u>	\$ <u>0.00</u>	\$ <u>0.00</u>	\$ <u>0.00</u>
3	Total Charge	\$ (0.20)	\$ (0.04)	\$ (0.34)	\$ (0.05)

1/ Customers receiving residential delivery and supply service under Rate 1, Rider 6.

2/ Customers receiving residential delivery service under Rate 1 – Rider 15 (Customer Select).

3/ Customers receiving non-residential delivery and supply service under Rates 4 or 5 and Rider 6.

4/ Customers receiving non-residential delivery service under Rates 4, 5, 74 or 75 and Riders 15 or 25.

**Northern Illinois Gas Company
d/b/a Nicor Gas Company**

47th INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.
56 AND 57 OF ILL.C.C. NO. 16, SCHEDULE G

Rider 5 Storage Service Cost Recovery

STORAGE SERVICE COST RECOVERY EFFECTIVE WITH SERVICE RENDERED ON OR AFTER
JULY 1, 2022 (1)

<u>LINE NO.</u>		<u>SSCR</u>
1	BASIC CHARGE PER THERM	0.04 ¢
2	ANNUAL RECONCILIATION CHARGE	<u>0.00</u> ¢
3	TOTAL CHARGE	<u>0.04</u> ¢

(1) APPLICABLE TO ALL SERVICE CLASSIFICATIONS

**Northern Illinois Gas Company
d/b/a Nicor Gas Company**

95th INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.
85, 85.1, 85.2, 85.3, 85.4, 85.5, 85.6, 85.7 AND 85.8 OF ILL.C.C. NO. 16, SCHEDULE G

Rider 32. Qualified Infrastructure Plant

Applicable to Rates 1, 4, 5, 6, 7, 74, 75, 76, 77 and Riders 3, 5, 25, 26, 36, and 38

Qualified Infrastructure Plant (QIP) Charge Percentage Effective with Service September 1, 2022–September 30, 2022

<u>LINE NO.</u>	<u>DESCRIPTION</u>	<u>PERCENTAGE</u>
1	Rider QIP Percentage Effective September 1, 2022	2.41%

**Rider 1
Customer Charge Adjustments**

Applicable to All Rates and Special Contracts

The monthly Customer charges authorized under the Schedule of which this rider is a part, as effective from time to time, and special Customer contracts, with or without monthly Customer charges, shall be subject to the following additional charges:

***Energy Assistance Charge for the Supplemental Low-Income Energy Assistance Fund.**

Pursuant to the provisions of Section 13 of the Energy Assistance Act of 1989, as amended, whereby the Company is required to impose a monthly Energy Assistance Charge for the Supplemental Low-Income Energy Assistance Fund on each account for which natural gas service is provided, the Company shall increase the monthly Customer charge by the following amounts:

Residential Service

\$0.48 per month on each account.

Non-Residential Service

\$4.80 per month on each account which has consumed less than 4,000,000 therms of gas in the previous calendar year.

\$180.00 per month on each account which has consumed 4,000,000 or more therms of gas in the previous calendar year.

Renewable Energy Resources and Coal Technology Development Assistance Charge

Pursuant to the provisions of Section 6-5 of the Renewable Energy, Energy Efficiency and Coal Resources Development Law of 1997, whereby the Company is required to impose a monthly Renewable Energy Resources and Coal Technology Development Assistance Charge on each account for which natural gas service is provided, the Company shall increase the monthly Customer charge by the following amounts:

Residential Service

\$0.05 per month on each account.

Non-Residential Service

\$0.50 per month on each account which has consumed less than 4,000,000 therms of gas in the previous calendar year.

\$37.50 per month on each account which has consumed 4,000,000 or more therms of gas in the previous calendar year.

Except as specified above, all other provisions of the rate or special contract shall apply.

(Continued On Sheet No. 55.5.1)

**Northern Illinois Gas Company
d/b/a Nicor Gas Company**

7th REVISED INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.
55.60, 55.61 AND 55.62 OF ILL.C.C. NO. 16, SCHEDULE G

Rider 3. Invested Capital Tax Adjustment

Applicable to All Rates
(Except Rate 21 and Other Negotiated Contracts)

Invested Capital Tax Adjustment Effective with Service Rendered on or after July 1, 2022

<u>LINE NO.</u>		<u>Residential (1)</u>	<u>Small Non- Residential (2)</u>	<u>Large Non- Residential (3)</u>
1	Basic Charge per Therm	0.16 ¢	0.09 ¢	0.02 ¢
2	Annual Reconciliation Charge	<u>0.00 ¢</u>	<u>0.00 ¢</u>	<u>0.00 ¢</u>
3	Total Charge	0.16 ¢	0.09 ¢	0.02 ¢

(1) RESIDENTIAL CUSTOMER (RATE 1)

(2) SMALL NON-RESIDENTIAL CUSTOMERS (RATES 4, 5, 74 AND 75)

(3) LARGE NON-RESIDENTIAL CUSTOMERS (RATES 6, 7, 76 AND 77)

Filed with the Illinois Commerce Commission on or before June 20, 2022

Issued by Lewis M. Binswanger
Vice President, Regulatory Affairs
Post Office Box 190
Aurora, Illinois 60507

**Northern Illinois Gas Company
d/b/a Nicor Gas Company**

Rider 6. Gas Supply Cost

GAS CHARGES EFFECTIVE WITH SERVICE RENDERED ON AND AFTER SEPTEMBER 1, 2022

I. Gas Charge (GC)

LINE NO.		GAS CHARGE (1) (GC)	COMMODITY GAS CHARGE (2) (CGC)	DEMAND GAS CHARGE (2) (DGC)	NON-COMMODITY GAS CHARGE (2) (NCGC)	TRANSPORTATION SERVICE ADJUSTMENT(4) (TSA)	CUSTOMER SELECT BALANCING CHARGE(3) (CSBC)
1	BASIC CHARGE	121.34 ¢ *	115.72 ¢				
2	RIDER 5, STORAGE SERVICE COST RECOVERY	0.04 ¢	0.04 ¢				
3	TOTAL CHARGES	<u>121.38 ¢</u>	<u>115.76 ¢</u>	<u>59.29 ¢</u>	<u>5.62 ¢</u>	<u>0.00 ¢</u>	<u>1.95 ¢</u>

II. Calculation of GCR and GCNR

	GCR	GCNR
Gas Cost (1)	121.38¢	121.38¢
Uncollectible Factor Percentage (2)	2.16%	1.12%
Uncollectible Factor Rate (3) = (1*2)	2.62¢	1.36¢
Total (1+3)	124.00¢	122.74¢

Gas Charge Residential (GCR) = **124.00¢**

Gas Charge Non-Residential (GCNR) = **122.74¢**

- (1) APPLICABLE TO ALL SERVICE CLASSIFICATIONS, EXCLUDING (1) SALES UP TO BACKUP LEVEL AND RATES 74, 75, 76 AND 77; (2) RATES 4, 5, 6, 7; AND RIDER 25.
- (2) APPLICABLE TO SERVICE UNDER RIDER 25; RATES 4, 5, 6, 7, 74, 75, 76 AND 77.
- (3) APPLICABLE TO SERVICE UNDER RIDERS 15 AND 16.
- (4) APPLICABLE TO ALL SERVICE CLASSIFICATIONS. IT IS INCLUDED IN THE CGC FOR SALES CUSTOMERS.
- (5) A RESIDENTIAL CUSTOMER'S TOTAL CHARGE IS EQUAL TO THE GCR. A NON-RESIDENTIAL CUSTOMER'S TOTAL CHARGE IS EQUAL TO THE GCNR.

*GAS CHARGE (GC); SUM OF:

CGC	115.72 ¢
NCGC	<u>5.62 ¢</u>
BASIC GAS CHARGE	<u>121.34 ¢</u>

**Northern Illinois Gas Company
d/b/a Nicor Gas Company**

78TH INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.
68, 69 AND 70 OF ILL.C.C. NO. 16, SCHEDULE G

Rider 12. Environmental Cost Recovery

Applicable to All Rates
(Except Rate 21 and other Negotiated Contracts)

Environmental Cost Recovery Effective with Service Rendered on or after April 1, 2022

<u>LINE NO.</u>		<u>Residential (1)</u>	<u>Small Non- Residential (2)</u>	<u>Large Non- Residential (3)</u>
1	Basic Charge per Therm	1.54 ¢	0.83 ¢	0.23 ¢
2	Annual Reconciliation Charge	<u>(0.01)¢</u>	<u>(0.01)¢</u>	<u>(0.00)¢</u>
3	Total Charge	1.53 ¢	0.82 ¢	0.23 ¢

(1) RESIDENTIAL CUSTOMER (RATE 1)

(2) SMALL NON-RESIDENTIAL CUSTOMERS (RATES 4, 5, 74 AND 75)

(3) LARGE NON-RESIDENTIAL CUSTOMERS (RATES 6, 7, 76 AND 77)

Filed with the Illinois Commerce Commission on or before March 20, 2022

Issued by Lewis M. Binswanger
Vice President
Post Office Box 190
Aurora, Illinois 60507

**Northern Illinois Gas Company
d/b/a Nicor Gas Company**

23rd REVISED INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.
83, 83.1, 83.2, 83.3 AND 83.4 OF ILL.C.C. NO. 16, SCHEDULE G

Rider 30 - Energy Efficiency Plan Cost Recovery

Applicable to All Rates

Energy Efficiency Plan Cost Recovery Effective with Service Rendered on or after April 1, 2022

<u>LINE NO.</u>		<u>Residential (1)</u>	<u>Small Non- Residential (2)</u>	<u>Large Non- Residential (3)</u>
1	Basic Charge per Therm	1.28 ¢	1.04 ¢	0.80 ¢
2	Annual Reconciliation Charge	<u>(0.31) ¢</u>	<u>0.39 ¢</u>	<u>1.54 ¢</u>
3	Total Charge	0.97 ¢	1.43 ¢	2.34 ¢

(1) RESIDENTIAL CUSTOMER (RATE 1)

(2) SMALL NON-RESIDENTIAL CUSTOMERS (RATES 4, 5, 74 AND 75)

(3) LARGE NON-RESIDENTIAL CUSTOMERS (RATES 6, 7, 17, 19, 76 AND 77)

Filed with the Illinois Commerce Commission on or before March 20, 2022

Issued by Lewis M. Binswanger
Vice President
Post Office Box 190
Aurora, Illinois 60507

Rider 8
Adjustments for Municipal, Local Governmental Unit and State Utility Taxes

(Continued From Sheet No. 64)

- * The additional charge currently applicable in each municipality or local governmental unit which has levied a municipal gas use tax based on a charge per unit of energy is shown on the Information Sheet supplemental to this Rider.

- * **State Utility Tax, Gas Use Tax and State Utility Fund Tax Charge.**
Where the Company pays a state tax based on a percentage of gross receipts or a charge per unit of energy, including any amounts resulting from audit adjustments, imposed by the State under the provisions of "The Gas Revenue Tax Act," as heretofore and hereafter amended, the additional charge applicable shall equal the amount pursuant to the provisions of Section 9-222 of "The Public Utilities Act," as heretofore and hereafter amended. The amount of such additional charge is the lower of 5.00 percent or 2.4 cents per therm.

As provided by the "Gas Use Tax Law", and imposed by the State, the Company shall collect the Gas Use Tax from Customers receiving service under the Company's transportation service rates and riders at the rate of 2.4 cents per therm. Upon receipt of proper notification, the Company shall not collect the Gas Use Tax for gas used by customers meeting one of the following criteria:

(Continued On Sheet No. 64.5)

Filed with the Illinois Commerce Commission on March 31, 2009
Issued pursuant to order of the Illinois Commerce Commission
entered March 25, 2009 in Docket No. 08-0363
Items in which there are changes are preceded by an asterisk (*)

Effective April 3, 2009
Issued by – Gerald P. O'Connor
Senior Vice President
Post Office Box 190
Aurora, Illinois 60507

Rider 8

***Adjustments for Municipal, Local Governmental Unit and State Utility Taxes**

(Continued From Sheet No. 64.1)

- (1) Gas used by a Self-Assessing Purchaser, as defined by the Gas Use Tax Law, who provides the Company with a copy of the certificate of registration as a Self-Assessing Purchaser from the Department of Revenue;
- (2) Gas used by business enterprises located in an enterprise zone certified by the Department of Commerce and Economic Opportunity pursuant to the Illinois Enterprise Zone Act;
- (3) Gas used by governmental bodies, or a corporation, society, association, foundation or institution organized and operated exclusively for charitable, religious, or educational purposes. Such use shall not be exempt unless the government body, or corporation, society, association, foundation, or institution organized and operated exclusively for charitable, religious, or educational purposes has first been issued as tax exemption identification number by the Department of Revenue pursuant to Section 1g of the Retailers' Occupation Tax Act. A limited liability company may qualify for the exemption under this Section only if the limited liability company is organized and operated exclusively for educational purposes. The term "educational purposes" shall have the same meaning as that set forth in Section 2h of the Retailers' Occupation Tax Act;
- (4) Gas used in the production of electric energy. This exemption does not include gas used in the general maintenance or heating of an electric energy production facility or other structure;
- (5) Gas used in a petroleum refinery operation;
- (6) Gas purchased by persons for use in liquefaction and fractionation process that produce value added natural gas byproducts for resale;
- (7) Gas use in the production of anhydrous ammonia and downstream nitrogen fertilizer products for resale.

For gas uses meeting one of the criteria numbered (2) through (7), Customers must submit to the Company an exemption certificate obtained from the Illinois Department of Revenue.

Where the Company pays a state tax based on a percentage of gross receipts, imposed by the State under the provisions of Section 2-202 of "The Public Utilities Act," as heretofore and hereafter amended, the additional charge, applicable to all taxable receipts, shall equal the percentage pursuant to the provisions of Section 9-222 of "The Public Utilities Act," as heretofore and hereafter amended. The amount of such additional charge due to the Public Utility Fund Tax is 0.1 percent.

*** General.**

The effectiveness of any additional charge due to tax shall coincide with the date upon which gross receipts or gas use is subject to the tax or, in the case of a payment of tax by the Company resulting from an audit adjustment, then the date upon which the Company makes such payment.

Except as specified above, all other provisions of the rate shall apply.

Filed with the Illinois Commerce Commission on March 31, 2009
Issued pursuant to order of the Illinois Commerce Commission
entered March 25, 2009 in Docket No. 08-0363
Items in which there are changes are preceded by an asterisk (*)

Effective April 3, 2009
Issued by – Gerald P. O'Connor
Senior Vice President
Post Office Box 190
Aurora, Illinois 60507

COMPARISON OF PREVIOUS AND CURRENT UTILITY RATES

Comparison of Previous and Current Utility Rates Public Housing

HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL

Note: Rates in bold text indicate changes and gray print indicates removal.

(We use the absolute value of the changes which gives us the percentage of change. This is the best way to determine a 10% change in utility rates and charges.)

ELECTRIC

UPDATE 2022

ComEd (Commonwealth Edison)		Summer Rates		Winter Rates		Difference		Percentage	
Description	Measure	8/2021	9/2022	8/2021	9/2022	Summer	Winter	Summer	Winter
Total Monthly Charges	per month	\$14.12	\$13.61	\$14.12	\$13.61	-\$0.51	-\$0.51	-4%	-4%
Total Energy Charges	per kwh	0.114877	0.158451	0.120137	0.145251	0.043574	0.025114	38%	21%
Franchise Cost Percentage	% of total	2.258%	2.283%	2.258%	2.283%	0.000250	0.000250	0.03%	0.03%

Summer: June - September (4), Winter: October - May (8)

NATURAL GAS

Nicor Gas		Rates		Difference	
Description	Measure	8/2021	9/2022	Amount	Percent
Total Monthly Charges	per month	\$20.28	\$23.61	\$3.33	17%
Total Energy Charges	per ccf	0.658552	1.374081	0.715529	109%
Public Utility Fund (Rider 8)	% of total	0.10%	0.10%	0.00	0%

DEVELOPMENT CHARACTERISTICS

Cheryl Lord

From: No Reply
Sent: Wednesday, June 24, 2020 8:43 AM
To: fhughes@hacf.us
Subject: ResidentLife Quote Request

Follow Up Flag: Follow up
Flag Status: Completed

Categories: Quote Request

ResidentLife Utility Allowance Quote Request

Contact Person's Name: Faniqua Hughes
 Title: Director of Operations
 Agency Name: Housing Authority of the City of Freeport
 HACode: IL029
 (Required for Public Housing)
 (See HUD's HA Profiles Website)
 Fiscal Year End: Mar. 31
 Address: 1052 W. Galena Ave
 City: Freeport
 State: Illinois
 Zip Code: 61032
 Phone Number: (815) 232-4171 x1018
 Fax Number: (815) 599-1388
 Email Address: fhughes@hacf.us
 Website: www.freeporthousing.org
 Agency Facebook Page:
 Study Types: Public Housing, Units: 256
 Other (specify)

Complete for Public Housing

Development Name	Development Code	Year Built	Building Type	Total Units	Bedroom Sizes (check all that apply)						Resident-Paid Utilities*** (See Legend)				
					0	1	2	3	4	5	Electric	Natural Gas	Water	Sewer	Tras
Parkside	AMP 11	1957	Row House/Townhouse	71	Yes	Yes	Yes	Yes	Yes	Yes	I	I	C	C	C
Westview	AMP 12	1960	Row House/Townhouse	196	Yes	Yes	Yes	Yes	Yes	Yes	I	I	C	C	C

Legend: I = Resident-Paid / Individual Meters, C = Check-Metered / Paid by Agency, M = Master-Metered / No Allowances

Utility Provider Name	Utility Type	Phone Number	Website	Paid By
ComEd	Electric	(800) 334-7661	www.comed.com	Resident

Utility Provider Name	Utility Type	Phone Number	Website	Paid By
Nicor	Natural Gas	(888) 642-6748	www.nicorgas.com	Resident
City of Freeport Water and Sewer	Electric		www.cityoffreeport.org	Agency

Comments or Questions:

We are looking for accurate way to get a utility allowance schedule that is not as time consuming. I am interested in knowing the cost, how much time the process takes, and how often would we need to do this in order to stay in compliance.

CUSTOMIZATION FOR BASE REM/RATE MODELS

Housing Agency:

Housing Authority of the City of Freeport

Customization & Energy Efficiency Measures for Base REM/Rate Models

Please check appropriate box(s) for **each development/property** and note if different for other bedroom sizes in property. NOTE: Use separate form if criteria is different for BR sizes or more than one building type per property. **Blue text represents energy efficiency measures/equipment.**

Development Name & No.:

Parkside AMP 11

Building: Year Built: 1957

Structure Type: Apt High-Rise RH SD DH

Legend: Apt=Apartment, RH=Row House/Townhouse, SD=Semi-Detached/Duplex, DH=Detached House

Resident-Paid Utilities: Electric Natural Gas Water Sewer Trash

Agency-Paid Utilities: Electric Natural Gas Water Sewer Trash

OR All Utilities are Master Metered (Paid by the Agency) (Stop here if ALL utilities are Master Metered)

Bedroom Sizes: 0BR/EFF 1BR 2BR 3BR 4BR 5BR 6BR

1 Foundation Type: Concrete Slab Pier-Beam (Crawl Space) Basement

2 Window Type: Single Pane Double Pane Low-E/Vinyl Other: Thermo Pane
U-Factor: _____ SHGC: _____ (Solar Heat Gain Coefficient)

3 # of Stories in Unit: one two Building has multiple stories

4 Exterior Veneer/Cladding: Siding Brick Stucco Other: Brick Veneer

HVAC

5a Heating Fuel: Electric Natural Gas Other: _____

5b Is Heating Individually Metered? Yes No

5c Heating Type: Electric Baseboard Central Boiler (Radiant) Individual Boiler

Energy Efficiencies: Heat Pump Forced Air Furnace w/ ducts/Wall unit (80 AFUE)
Heat Pump Efficiency Rating: SEER: _____ HSPF: _____
 Solar Panels Installed (High Efficiency) Gas Furnace (90 AFUE)
(additional information is needed)

5d Heating Equipment Location: Conditioned Space Unconditioned Space (attic/garage)

5e Air Conditioning: Yes No Type: Window Unit Central Tonage: _____

6 Air Ducts: Yes No

If Yes, Location: Conditioned Space Unconditioned Space (attic)

7a Water Heater: Electric (30 gal) Natural Gas (30 gal) Oil
40-50 gallon Elec Tank .90 EF Gas Tank .58 EF Solar Water Heating
(additional information is needed)
 Elec Tank .95 EF Gas Tank .62 EF
 Elec Tankless Gas Tankless .80 EF or higher

7b Water Heater Type: Individual units Central Boiler

7c Water Htr Location: Conditioned Space Unconditioned Space (attic/garage)

8 Stove/Range: Electric Natural Gas

9 Energy Efficiencies:

Insulation: Ceiling (R-20)(min.) Ceiling (R-38) Wall (R-13)
 Ceiling (R-30) Ceiling (R-49) Wall (R-19)

Low Flow Water: Shower, Faucets, Toilets Lighting: 100% CFL 100% LED

10 GeoThermal (HVAC and DHW) COP Rating: _____

Notes/Comments: AMP 11 includes Parkside & Lincoln Village
PS 65 Units & 1 Office 1 Community Center
LV 6 Units

Housing Agency:

Housing Authority of the City of Freeport

Customization & Energy Efficiency Measures for Base REM/Rate Models

Please check appropriate box(s) for **each development/property** and note if different for other bedroom sizes in property. NOTE: Use separate form if criteria is different for BR sizes or more than one building type per property. **Blue text represents energy efficiency measures/equipment.**

Development Name & No.:

Parkside AMP 11

Building: Year Built: _____

Structure Type: Apt High-Rise RH SD DH

Legend: Apt=Apartment, RH=Row House/Townhouse, SD=Semi-Detached/Duplex, DH=Detached House

Resident-Paid Utilities: Electric Natural Gas Water Sewer Trash

Agency-Paid Utilities: Electric Natural Gas Water Sewer Trash

OR All Utilities are Master Metered (Paid by the Agency) (Stop here if ALL utilities are Master Metered)

Bedroom Sizes: OBR/EFF 1BR 2BR 3BR 4BR 5BR 6BR

1 Foundation Type: Concrete Slab Pier-Beam (Crawl Space) Basement

2 Window Type: Single Pane Double Pane Low-E/Vinyl Other: Thermo Pane
U-Factor: _____ SHGC: _____ (Solar Heat Gain Coefficient)

3 # of Stories in Unit: one two Building has multiple stories

4 Exterior Veneer/Cladding: Siding Brick Stucco Other: _____

HVAC

5a Heating Fuel: Electric Natural Gas Other: _____

5b Is Heating Individually Metered? Yes No

5c Heating Type: Electric Baseboard Central Boiler (Radiant) Individual Boiler
Energy Efficiencies: Heat Pump Forced Air Furnace w/ ducts/Wall unit (80 AFUE)
Heat Pump Efficiency Rating: SEER: _____ HSPF: _____
 Solar Panels Installed (High Efficiency) Gas Furnace (90 AFUE)
(additional information is needed)

5d Heating Equipment Location: Conditioned Space Unconditioned Space (attic/garage)

5e Air Conditioning: Yes No Type: Window Unit Central Tonage: _____

6 Air Ducts: Yes No
If Yes, Location: Conditioned Space Unconditioned Space (attic)

7a Water Heater: Electric (30 gal) Natural Gas (30 gal) Oil
40-50 gallon Elec Tank .90 EF Gas Tank .58 EF Solar Water Heating
(additional information is needed)
 Elec Tank .95 EF Gas Tank .62 EF
 Elec Tankless Gas Tankless .80 EF or higher

7b Water Heater Type: Individual units Central Boiler

7c Water Htr Location: Conditioned Space Unconditioned Space (attic/garage)

8 Stove/Range: Electric Natural Gas

9 Energy Efficiencies:

Insulation: Ceiling (R-20)(min.) Ceiling (R-38) Wall (R-13)
 Ceiling (R-30) Ceiling (R-49) Wall (R-19)

Low Flow Water: Shower, Faucets, Toilets Lighting: 100% CFL 100% LED

10 GeoThermal (HVAC and DHW) COP Rating: _____

Notes/Comments: AMP 11 includes Parkside & Lincoln Village
PS 65 Units & 1 Office 1 Community Center
LV 6 Units

Housing Agency:

Housing Authority of the City of Freeport

Customization & Energy Efficiency Measures for Base REM/Rate Models

Please check appropriate box(s) for **each development/property** and note if different for other bedroom sizes in property. NOTE: Use separate form if criteria is different for BR sizes or more than one building type per property. **Blue text represents energy efficiency measures/equipment.**

Development Name & No.:

Westview AMP 12

Building: Year Built: 1960

Structure Type: Apt High-Rise RH SD DH

Legend: Apt=Apartment, RH=Row House/Townhouse, SD=Semi-Detached/Duplex, DH=Detached House

Resident-Paid Utilities: Electric Natural Gas Water Sewer Trash

Agency-Paid Utilities: Electric Natural Gas Water Sewer Trash

OR All Utilities are Master Metered (Paid by the Agency) (Stop here if ALL utilities are Master Metered)

Bedroom Sizes: OBR/EFF 1BR 2BR 3BR 4BR 5BR 6BR

1 Foundation Type: Concrete Slab Pier-Beam (Crawl Space) Basement Only 5 Ur Units @ Willow

2 Window Type: Single Pane Double Pane Low-E/Vinyl Other: Thermo Pane

U-Factor: _____ SHGC: _____ (Solar Heat Gain Coefficient)

3 # of Stories in Unit: one two Building has multiple stories

4 Exterior Veneer/Cladding: Siding Brick Stucco Other: Brick Veneer

HVAC

5a Heating Fuel: Electric Natural Gas Other: _____

5b Is Heating Individually Metered? Yes No

5c Heating Type: Electric Baseboard Central Boiler (Radiant) Individual Boiler

Energy Efficiencies: Heat Pump Forced Air Furnace w/ ducts/Wall unit (80 AFUE)

Heat Pump Efficiency Rating: SEER: _____ HSPF: _____

Solar Panels Installed (High Efficiency) Gas Furnace (90 AFUE) (additional information is needed)

5d Heating Equipment Location: Conditioned Space Unconditioned Space (attic/garage)

5e Air Conditioning: Yes No Type: Window Unit Central Tonage: _____

6 Air Ducts: Yes No

If Yes, Location: Conditioned Space Unconditioned Space (attic)

7a Water Heater: Electric (30 gal) Natural Gas (30 gal) Oil

40-50 gallon Elec Tank .90 EF Gas Tank .58 EF Solar Water Heating (additional information is needed)

Elec Tank .95 EF Gas Tank .62 EF

Elec Tankless Gas Tankless .80 EF or higher

7b Water Heater Type: Individual units Central Boiler

7c Water Htr Location: Conditioned Space Unconditioned Space (attic/garage)

8 Stove/Range: Electric Natural Gas

9 Energy Efficiencies:

Insulation: Ceiling (R-20)(min.) Ceiling (R-38) Wall (R-13)

Ceiling (R-30) Ceiling (R-49) Wall (R-19)

Low Flow Water: Shower, Faucets, Toilets Lighting: 100% CFL 100% LED

10 GeoThermal (HVAC and DHW) COP Rating: _____

Notes/Comments: AMP 12 includes Westview, Gilmore, Willow, & Douglas Village

WV 84 Units & 1 Office 1 Community Center DV 26 Units & 1 Community Center Only Develop in Amp

GL 32 Units 12 w/ Central air

WL 40 UNITS & 1 Community Center

Housing Agency:

Housing Authority of the City of Freeport

Customization & Energy Efficiency Measures for Base REM/Rate Models

Please check appropriate box(s) for **each development/property** and note if different for other bedroom sizes in property. NOTE: Use separate form if criteria is different for BR sizes or more than one building type per property. **Blue text represents energy efficiency measures/equipment.**

Development Name & No.:

Westview AMP 12

Building: Year Built: _____ Structure Type: Apt High-Rise RH SD DH

Legend: Apt=Apartment, RH=Row House/Townhouse, SD=Semi-Detached/Duplex, DH=Detached House

Resident-Paid Utilities: Electric Natural Gas Water Sewer Trash

Agency-Paid Utilities: Electric Natural Gas Water Sewer Trash

OR All Utilities are Master Metered (Paid by the Agency) (Stop here if ALL utilities are Master Metered)

Bedroom Sizes: OBR/EFF 1BR 2BR 3BR 4BR 5BR 6BR

1 Foundation Type: Concrete Slab Pier-Beam (Crawl Space) Basement 5 Units Willow

2 Window Type: Single Pane Double Pane Low-E/Vinyl Other: Thermo Pane
U-Factor: _____ SHGC: _____ (Solar Heat Gain Coefficient)

3 # of Stories in Unit: one two Building has multiple stories

4 Exterior Veneer/Cladding: Siding Brick Stucco Other: _____

HVAC

5a Heating Fuel: Electric Natural Gas Other: _____

5b Is Heating Individually Metered? Yes No

5c Heating Type: Electric Baseboard Central Boiler (Radiant) Individual Boiler
Energy Efficiencies: Heat Pump Forced Air Furnace w/ ducts/Wall unit (80 AFUE)
Heat Pump Efficiency Rating: SEER: _____ HSPF: _____
 Solar Panels Installed (High Efficiency) Gas Furnace (90 AFUE)
(additional information is needed)

5d Heating Equipment Location:
 Conditioned Space Unconditioned Space (attic/garage)

5e Air Conditioning: Yes No Type: Window Unit Central Tonage: _____

6 Air Ducts: Yes No
If Yes, Location: Conditioned Space Unconditioned Space (attic)

7a Water Heater: Electric (30 gal) Natural Gas (30 gal) Oil
40-50 gallon Elec Tank .90 EF Gas Tank .58 EF Solar Water Heating
(additional information is needed)
 Elec Tank .95 EF Gas Tank .62 EF
 Elec Tankless Gas Tankless .80 EF or higher

7b Water Heater Type: Individual units Central Boiler

7c Water Htr Location: Conditioned Space Unconditioned Space (attic/garage)

8 Stove/Range: Electric Natural Gas

9 Energy Efficiencies:

Insulation: Ceiling (R-20)(min.) Ceiling (R-38) Wall (R-13)
 Ceiling (R-30) Ceiling (R-49) Wall (R-19)

Low Flow Water: Shower, Faucets, Toilets Lighting: 100% CFL 100% LED

10 GeoThermal (HVAC and DHW) COP Rating: _____

Notes/Comments: AMP 12 includes Westview, Gilmore, Willow, & Douglas Village
WV 84 Units & 1 Office 1 Community Center DV 26 Units & 1 Community Center
GL 32 Units Only Develop in Amp 12 with Central Air
WL 40 Units & 1 Community Center

DEVELOPMENT REPORTS



Current Study

Type: **Low-Rent Utility Study - [New]**
 Date: **September 22, 2020**
 Agency: **Housing Authority of the City of Freeport**

Home

ResidentLife Utility Allowance® Calculator

Logout

Administration

- Choose Agency
- New Agency
- Edit Agency
- Users
- Climate Regions

Utility Study

- Developments
- Utility Companies
- Utility Rates

Calculate

- Cost of Consumption
- Average Costs
- Proposed Allowances
- Compared Allowances

Export

- Utility Rates
- Cost of Consumption
- Average Costs
- Total Consumptions
- Proposed Allowances
- Compared Allowances

Low-Rent Study

- New
- Open/Edit

Section 8 Study

- New
- Open/Edit

Developments / AMPs

INSTRUCTIONS

Use the Development Characteristics Chart and the Energy Customization Charts for reference.

- Click on tabs below in number order and answer questions. Don't **[SAVE]** until tabs 1 - 4 have been completed. **[SAVE]** will take you back to this screen.
- To **start** click on **[ADD DEVELOPMENT]** button below.
- After all development information has been input, click **[HOME]** and go to 2. Utility Companies.

Details

What is the development's name?

What is the development's extension number?

What is the development's building type?

What type of residents occupy the development?

Are water saving devices used?

Do the units have air conditioning?

How old is the development?

[Click here for HELP with building type descriptions.](#)

Utilities

What utility is used for space heating?

What utility is used for domestic hot water?

What utility is used for cooking stove?

Do the Residents pay for natural gas?

Do the Residents pay for electricity?

Do the Residents pay for water or sewer?

Do the Residents pay for trash pickup?

Unit Details

	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
How many units?	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="0"/>
Is there a pier beam foundation (Crawlspace)?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Are there double-pane or Low-E windows?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there an electric base board?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there a heat pump?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there a space heater in unconditioned space?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there domestic hot water in unconditioned space?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Are there ducts in the attic?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is this a 2-story unit?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>

Energy Improvements (Natural Gas) - [HIDE](#)

Space Heating

Gas Furnace (48k/94 AFUE)

Water Heating

Gas Tank (0.62 EF)

- Gas Tankless (0.69 EF)
- Gas Tankless (0.80 EF)

Insulation

- Ceiling (R-30)
- Ceiling (R-38)
- Wall (R-13)

Windows

- Double Pane Vinyl

Lighting

- 100% CFL

Energy Improvements (Electric) - SHOW

Save Delete Reset

End-Use Consumptions

	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
Space Heating (Therms)	32	32	39	49	55	59	
Domestic Hot Water (Therms)	11	11	13	15	16	17	
Lights & Appliances (kWh)	168	168	209	256	300	346	
Cooking Stove (Therms)	5	5	7	7	8	9	
Water & Sewer (Gallons)	1550	3100	4650	7750	9300	12400	

End-Use Consumption Calculations - SHOW

Adjusted Consumption Totals

	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
Electricity (kWh)	168	168	209	256	300	346	
Natural Gas Winter (Therms)	47	47	58	70	78	83	
Natural Gas Summer (Therms)	16	16	20	22	24	26	

Consumption Total Adjustment Calculations - SHOW

Select a Development / AMP

Available Developments:

Parkside and Westview IL-(EE Equip: H)

Add Development Edit Development

CURRENTLY ADOPTED UTILITY ALLOWANCES



HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL
PUBLIC HOUSING

PROPOSED MONTHLY UTILITY ALLOWANCES
Chart 1

UPDATE 2021

Building Type: Row House/Townhouse

Parkside and Westview (EE Equip: H)	0BR	1BR	2BR	3BR	4BR	5BR
Electricity (L&A)	\$35.00	\$35.00	\$40.00	\$45.00	\$51.00	\$56.00
Natural Gas (H,WH,C)	\$44.00	\$44.00	\$50.00	\$56.00	\$60.00	\$62.00
Totals	\$79.00	\$79.00	\$90.00	\$101.00	\$111.00	\$118.00

A monthly average cost of the summer and winter adjustments were used for the electric and natural gas costs.

L&A= Lights & Appliances

H= Space Heating

WH= Water Heating

C= Cooking

Note: Public Housing utility allowances are calculated similar to the method used by each utility provider. These allowances are not calculated by end use (like Section 8 HCV), but by total usage for each utility type. Utility providers' monthly charges are included in the calculations.

**LOCAL CLIMATOLOGICAL DATA
ANNUAL CLIMATIC DATA SUMMARY**

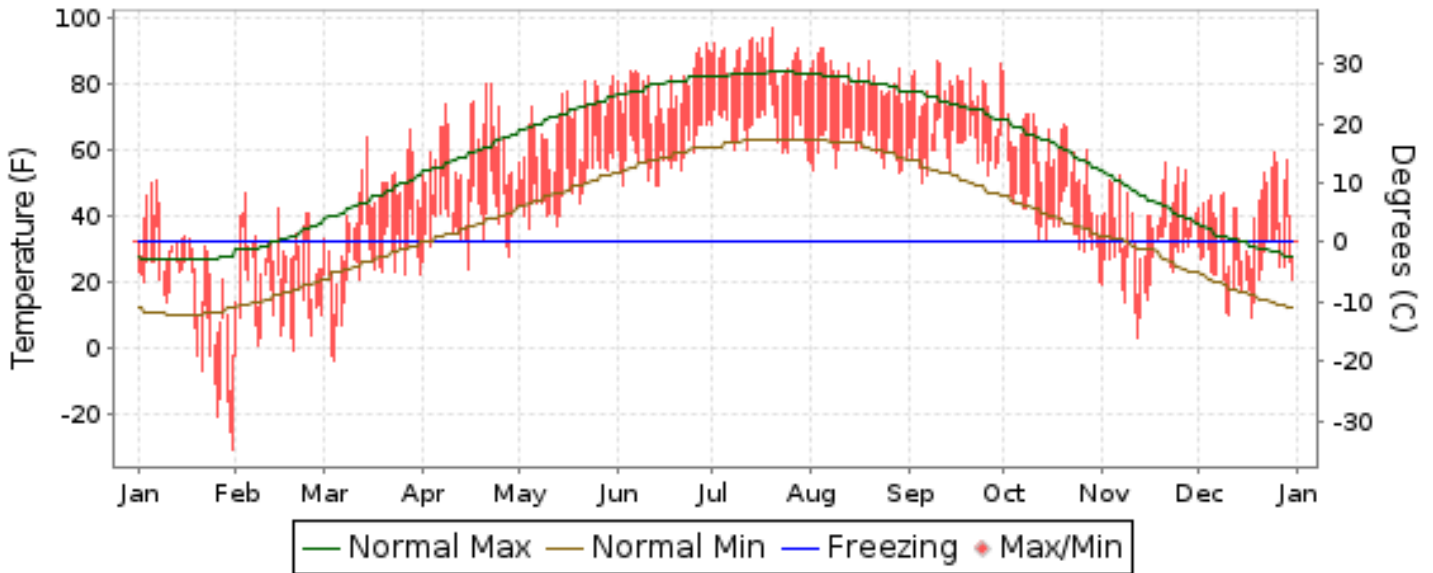


2019 LOCAL CLIMATOLOGICAL DATA ANNUAL SUMMARY WITH COMPARATIVE DATA

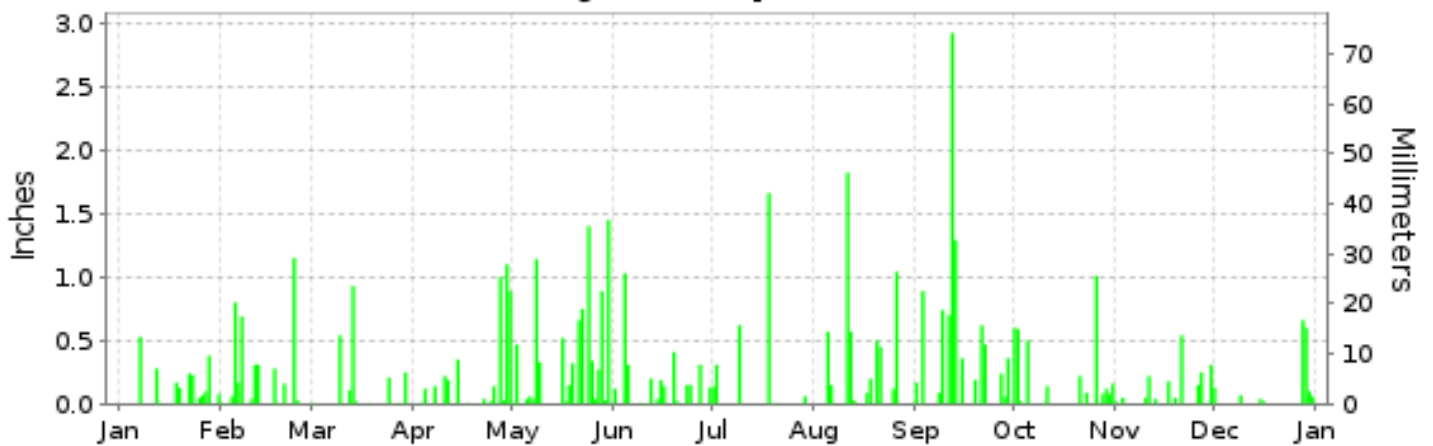
ISSN 0198-1900

ROCKFORD, ILLINOIS (KRFD)

Daily Max/Min Temperature



Daily Precipitation



Daily Station Pressure



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NATIONAL CENTERS for
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64 SHEVILLE, NORTH CAROLINA

Mary S. Wohlgenant
DIRECTOR
NCEI

METEOROLOGICAL DATA FOR 2019

ROCKFORD (KRFD)

LATITUDE: 42° 11'N LONGITUDE: 89° 5'W ELEVATION (FT): GRND: 730 BARO: 731 TIME ZONE: CENTRAL (UTC -6) WBAN: 94822

ELEMENT		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YEAR	
TEMPERATURE °F	MEAN DAILY MAXIMUM	25.4	29.8	42.8	59.7	68.3	79.7	87.9	82.0	76.8	59.3	41.0	41.2	57.8	
	HIGHEST DAILY MAXIMUM	51	47	66	80	82	92	97	91	87	84	56	59	97	
	DATE OF OCCURRENCE	07	04	28	22+	31	29	20	05+	10	01	21	25	JUL 20	
	MEAN DAILY MINIMUM	10.7	14.3	24.6	38.8	48.1	59.0	67.1	60.9	60.2	40.5	25.6	24.0	39.5	
	LOWEST DAILY MINIMUM	-31	-2	-4	24	36	49	57	53	50	20	3	9	-31	
	DATE OF OCCURRENCE	31	01	04	15	04	14+	31	29	05	31	12	18	JAN 31	
	AVERAGE DRY BULB	18.1	22.1	33.7	49.3	58.2	69.4	77.5	71.5	68.5	49.9	33.3	32.6	48.7	
	MEAN WET BULB	17.1	21.4	29.9	43.4	53.4	62.8	69.5	64.9	64.6		31.0	30.7		
	MEAN DEW POINT	12.4	17.0	22.6	36.5	49.1	58.7	65.5	61.1	62.2		26.6	26.6		
	NUMBER OF DAYS WITH:														
	MAXIMUM >= 90°	0	0	0	0	0	3	12	2	0	0	0	0	0	17
	MAXIMUM <= 32°	22	19	6	0	0	0	0	0	0	0	6	7	0	60
MINIMUM <= 32°	30	27	24	8	0	0	0	0	0	6	22	28	0	145	
MINIMUM <= 0°	9	2	2	0	0	0	0	0	0	0	0	0	0	13	
H/C	HEATING DEGREE DAYS	1449	1197	962	468	226	18	0	1	20	474	940	997	6752	
	COOLING DEGREE DAYS	0	0	0	2	23	156	395	207	132	12	0	0	927	
RH	MEAN (PERCENT)	76	78	65	66	73	72	70	73	82	75	77	78	74	
	HOUR 00 LST	77	79	73	73	81	82	82	86	89	85	82	84	81	
	HOUR 06 LST	79	81	79	78	83	84	86	91	93	86	84	84	84	
	HOUR 12 LST	72	75	56	57	65	60	57	56	73	63	68	69	64	
	HOUR 18 LST	75	76	56	58	62	62	56	61	75	70	73	77	67	
W/O	NUMBER OF DAYS WITH:														
	HEAVY FOG(VISBY <= 1/4 MI)	2	2	0	3	1	1	0	2	2	0	1	1	15	
	THUNDERSTORMS	0	2	3	5	10	9	8	6	12	1	1	0	57	
PR	MEAN STATION PRESS. (IN.)	29.32	29.29	29.34	29.15	29.14	29.15	29.21	29.20	29.24	29.17	29.28	29.21	29.23	
	MEAN SEA-LEVEL PRESS. (IN.)	30.16	30.13	30.16	29.96	29.94	29.93	29.99	29.99	30.03	29.99	30.10	30.06	30.04	
WINDS	RESULTANT SPEED (MPH)	2.0	1.9	3.0	0.6	1.0	0.6	1.3	0.6	2.5		1.7	3.8		
	RES. DIR. (TENS OF DEGS.)	29	29	27	09	11	08	22	27	18		25	23		
	MEAN SPEED (MPH)	9.8	10.5	10.2	10.6	8.2	7.7	7.3	6.1	7.8	9.1	8.3	8.9	8.7	
	PREVAIL.DIR.(TENS OF DEGS.)	28	27	29	07	06	07	19	27	17	20	19	18	18	
	MAXIMUM 2-MINUTE WIND														
	SPEED (MPH)	36	41	40	31	32	45	37	32	41	32	41	31	45	
	DIR. (TENS OF DEGS.)	29	26	18	02	10	01	36	29	18	21	29	26	01	
	DATE OF OCCURRENCE	08	24	14	19	22	30	20	18	03	22	27	30	JUN 30	
	MAXIMUM 3-SECOND WIND:														
	SPEED (MPH)	49	57	52	44	48	63	49	46	53	51	59	46	63	
DIR. (TENS OF DEGS.)	29	27	22	10	27	02	34	29	18	22	29	24	02		
DATE OF OCCURRENCE	08	24	14	11	19	30	20	18	03	22	27	30	JUN 30		
PRECIPITATION	WATER EQUIVALENT:														
	TOTAL (IN.)	2.27	4.03	2.09	4.26	8.93	3.21	2.80	5.55	9.10	3.63	1.87	1.68	49.42	
	GREATEST 24-HOUR (IN.)	0.53	1.18	1.04	1.13	1.47	1.34	1.66	1.82	2.92	1.02	0.54	0.90	2.92	
	DATE OF OCCURRENCE	07	23-24	12-13	28-29	08-09	04-05	18	11	12	26-27	21	28-29	SEP 12	
	NUMBER OF DAYS WITH:														
PRECIPITATION 0.01	12	14	9	14	20	14	6	12	14	14	12	8	149		
PRECIPITATION 0.10	8	8	5	9	13	11	4	9	12	8	6	4	97		
PRECIPITATION 1.00	0	1	0	2	3	1	1	2	2	1	0	0	13		
SNOWFALL	SNOW,ICE PELLETS,HAIL														
	TOTAL (IN.)	24.9	9.6	0.1	6.6	T	0.0	0.0	0.0	0.0	4.2	4.6	2.4	52.4	
	GREATEST 24-HOUR (IN.)	4.2	3.5	0.1	3.7	T	0.0	0.0	0.0	0.0	3.1	3.2	1.3	4.2	
	DATE OF OCCURRENCE	23	17	01	27	19					31	11	31	JAN 23	
	MAXIMUM SNOW DEPTH (IN.)	17	17	0	4	0	0	0	0	0	2	4	2	17	
	DATE OF OCCURRENCE	30+	01		28						31	14	31	FEB 01	
NUMBER OF DAYS WITH:															
SNOWFALL >= 1.0	9	4	0	2	0	0	0	0	0	1	1	1	18		

